



4646 Dakota Street S.E.
Prior Lake, MN 55372-1714

Dear Contractor/Home Builder:

We will be giving you the following forms and handouts to fill out and/or read as part of our building permit process for building a new home in Prior Lake.

FORMS TO BE COMPLETED FOR NON-SHORELAND DISTRICT HOMES:

- Building Permit Application Form
- Single Family Home Worksheet
- Builder's Deposit Form
- Heating Calculation Worksheet

ALSO REQUIRED TO SUBMIT:

- Two sets of building plans
- Copy of contractors license
- Three copies of certificate of survey
- Tree preservation plan on vacant lots where there is no tree preservation plan on file with subdivision
- Existing and proposed 1' contours where there is no subdivision grading plan on file or the lot is designated as a custom graded lot

INFORMATIONAL HANDOUTS

- Building Permit Application Procedures
- Residential Construction Checklist
- Survey Requirements

If you have any questions regarding this information, please contact the Building Department at (952) 447-9850.

Charges Associated with Building Permits - 2011

Single Family Homes

	Estimated Value = \$250,000.00	Estimated Value = \$400,000.00
Building Permit Fee	\$1,953.50	\$2,853.50
Plan Review Fee	1,269.78	1,854.78
State Surcharge	125.00	200.00
Metropolitan Sewer Availability Charge (SAC)	2230.00	2230.00
City Sewer and Water Fee	1,500.00	1,500.00
Water Tower Fee	1,000.00	1,000.00
Water Meter – 5/8”	610.00	610.00
Water Pressure Reducer – 5/8”	90.00	90.00
Builder’s Deposit (Refundable)	1,500.00	1,500.00
Basic Heating Permit Fee (with A/C)	154.50	154.50
Basic Plumbing Permit Fee	154.50	154.50
Sewer and Water Permit Fee	56.50	56.50
Gas Fireplace Permit Fee	54.50	54.50
TOTAL	\$10,698.28	\$12,258.28

** Additional fees - Additional fees may include a \$500.00 (refundable) tree deposit or a \$850.00 Park Support Fee.

BUILDING PERMIT APPLICATION PROCEDURE

Each application for a building permit shall be accompanied by the data indicated below. **Failure to submit complete information will result in rejection of the permit application.** Please read carefully the listed requirements.

ALL APPLICATIONS:

1. Completed application forms including all information required in the numbered spaces, dated, and signed by the applicant.
2. Two copies of building plans, drawn to scale, together with specifications containing the following minimum information: (requirement for building plans may be waived by the Building Official for small structures or minor work). Where manufacturer or dealer requires the return of one approved set of plans, three copies will be necessary.
 - a) **Certificate of Survey**.- Three (3) Certificates of Survey are required for all new construction projects. One survey should address Erosion Control per the Engineering Department. (See attached Certificate of Survey requirements.)
 - b) **Erosion Control Plan** - Submit Erosion Control Plan with all new construction projects. Erosion control plan shall show the rock construction entrance and location of silt fence or other approved erosion control systems.
 - c) **Floor Plans** - Each floor or level including basement or foundation, decks, porches, garage, or carport. Size, spacing, and direction of floor and ceiling framing members, girders, beams, columns and piers. Location and size of all permanently installed cabinets, plumbing fixtures, heating, ventilation, and air conditioning equipment.
 - d) **Exterior Elevations** - All sides of building showing windows, doors, finished grades, exterior finish, depth of footings, foundation walls, piers and finished floor elevations.

- e) **Details and Sections** - A minimum of one section detail through exterior wall for each type of construction proposed, showing materials and dimensions of each member from footing to the highest point of the roof. Details including calculations and stress diagrams together with manufacturer's specifications are required for all roof trusses. Fireplaces, if proposed, must be detailed in plan and cross section. Details and calculations are required for each critical construction detail including beams, overhanging or cantilevered joists, stairways, balconies, or other unique structural features. Information and calculations pertaining to thermal transmittance values and resistance values of each proposed material are required and may be shown either on plans or in specifications. (See detailed energy requirement sheet for complete listing of information.)
 - f) **Mechanical Designs** - Complete calculations details and specifications are required for heating, ventilation, humidification/de-humidifications, and air conditioning installation as to type, manufacturer, and model. Identification of and specifications for water heating equipment shall also be provided.
 - g) **Specifications** - May be separate or part of drawings and shall include description of materials to be used, identified as to grade, species, type, manufacturer, and conditions of use. If not included on plan, specifications shall include detailed thermal transmittance calculations together with supporting data used in computations. (U Comp Form).
3. In any instance where an application requires a variance to existing codes or ordinances or special use permits, and an approval of variance or special use permit by the local governing body, is not submitted with the permit application, such application will be returned together with necessary instructions for use in application to the local government for the required zoning section.
 4. All applications for structures which require driveway access or involve a change in use of an existing access to a county or state highway, must be accompanied by an access permit issued by that highway department.
 5. Applications for permits for structures, alterations, or modification of structures served by individual on-site sewage treatment systems will be processed only after a permit has been approved for such sewage systems.
 6. One set of building plans and specifications noted with correction or code compliance data and stamped as approved by the Building Official will be returned with the permit. This approved copy must be kept on the individual job site, available to inspection personnel throughout the construction.

7. A Certificate of Occupancy is required prior to the use of occupancy of any structure or part of structure erected, altered, or changed in use. This certificate will be issued by the Building Official at such time as final inspections demonstrate that code compliance has been achieved. For extensive remodeling projects, the Certificate of Occupancy may be revoked.

CALL (952) 447-9850 TO SCHEDULE INSPECTIONS BETWEEN THE HOURS OF 8:00 A.M. TO 9:00 P.M. PLEASE ALLOW TWENTY-FOUR HOURS NOTICE WHEN SCHEDULING INSPECTIONS.

THE FOLLOWING IS A LIST OF REQUIRED INSPECTIONS:

**FOOTING INSPECTION
FOUNDATION PRIOR TO POURING
FOUNDATION PRIOR TO BACKFILL
FRAMING INSPECTION
INSULATION INSPECTION
PLUMBING ROUGH-IN & FINAL
GAS LINE AIR TEST
HEATING ROUGH-IN & FINAL
GRADING PRIOR TO SODDING
FINAL INSPECTION**

***ADDITIONAL INSPECTIONS MAY BE REQUIRED BY THE FIELD INSPECTOR**

Your Building Permit does not include the State Electrical Permit or Electrical Inspection. Please contact Walt Lusian from Eden Prairie (Phone 612-934-0229) between 7:00 A.M. and 8:30 A.M. to speak with him regarding electrical permits or to schedule an inspection.

SECTION 302 (d) of the UBC

Expiration - Every permit issued by the Building Official under the provisions of this code shall expire by limitation and become null and void, if the building work authorized by such permit, or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of 180 days. Before work can recommence a new permit shall be first obtained and the fee therefore shall be one-half of the amount required for a new permit for such work, provided no changes have been made or will be made in the original plans and specifications for such work; and provided, further, that such suspension or abandonment has not exceeded one year.

SUBCONTRACTOR WORKSHEET:

See attached worksheet required for all new construction, additions and remodeling permits.



16200 Eagle Creek Avenue S.E.
Prior Lake, MN 55372-1714

- NOTICE:** Certificate of Occupancy must be obtained before a building is to be occupied.
- TEMPORARY CERTIFICATE OF OCCUPANCY:** Must be kept current, if allowed to expire, part or all of the Builder's Deposit will be forfeited.
- MAINTAIN EROSION CONTROL:** All soils shall remain on the construction site. Failure to do so may result in the forfeiture of all or part of the Builder's Deposit and a stop work order may be posted. The contractor must replace the Builder's Deposit before construction is to resume. Silt fences shall be maintained.
- CLEAN THE STREETS:** If mud is tracked onto the street, the mud must be removed at the end of each day.
- FINAL GRADE INSPECTION:** Call the City of Prior Lake Engineering Department for a final grade inspection **before installing sod.**
- SOD & TREES:** The applicant is responsible to meet the requirements of the Development Agreement. The Builder's Deposit will not be returned until all requirements are met. A temporary thirty (30) day Certificate of Occupancy may be issued to allow for the installation of sod and trees after the home is occupied.
- BUILDER'S DEPOSIT:** The Builder's Deposit is not an escrow account. Loss of the Builder's Deposit does not reduce the permit holder's responsibility to complete the project.
- SEPARATE PERMITS REQUIRED:** Separate permits are required for plumbing, electrical, heating, fireplace, etc.
- CALL FOR INSPECTIONS:** It is the responsibility of the applicant to call for all required inspections. Call (952) 447-9850 between the hours of 8:00 A.M. – 4:30 P.M. and give the address and permit number.
- UTILITY & DRAINAGE EASEMENTS:** No construction activity is allowed in utility or drainage easements.
- JOB SITE ADDRESS:** Post job site address prior to all inspections.
- PLAN CHANGES:** All changes in approved plans shall be reviewed and approved before inspections.



Residential Construction Checklist

City of Prior Lake Requirements

Robert Hutchins- Building Official
4646 Dakota Street S.E.
Prior Lake, Minnesota 55372

Phone: (952)-447-9850
Fax: (952)-447-4245

The following checklist has been designed to aid contractors in obtaining inspection approval. The items represent various common IBC/IRC/State Amendment code requirements and City policies/procedures:

FOOTINGS INSPECTIONS: (See Cold Weather Handout)

- Erosion control must be in place prior to footings inspection.
- Job site address must be posted.
- Permit card must be posted on site or available to the inspector.
- Approved plans and survey must be on-site.
- Engineer's soil report must be available (when requested by the inspector)
- Excavation and form work must be completed.
- Loose soil and debris must be removed from footing form work.
- Location and placement of form work must be in accordance with approved plans and survey.
- Survey stakes, hubs, and property irons must be in place and visible.

FOUNDATION INSPECTIONS: (See Cold Weather Handout, when applicable)

- Poured foundation must be inspected after reinforcing has been placed but prior to pouring. Do not spray form oil on reinforcement bars.
- All foundations must be inspected prior to backfill.
- All foundations to be damp proofed and insulated prior to inspection. Exterior drainage/tile required.
- Minimum width of a hollow masonry unit on bearing walls shall be 6" or 4" with solid filled cores.
- Remove all excess fill from the site.
- Foundations require waterproofing and damproofing drainage systems with an approved filter membrane material on exterior walls enclosing habitable or usable space below grade.

FRAMING INSPECTIONS:

- If an exterior door leads outside to a future deck, deck ledgers must be permanently fastened to house rim to support 480# linear feet, flashed and sealed prior to a framing inspection.
- All foundations designed to hold over eight (8) feet of unbalanced backfill must be engineered.
- Foundations reinforcement per engineered design or Table R404.1.1(8).
- All walk-out foundations require R-5 minimum from footing to sill plate.
- All foundations must be insulated with a minimum of an R10.
- ½" anchor bolts are required with 7" minimum embedment in masonry, 6'-0" on center minimum with at least 2 bolts per sill plate.
- Rock construction entry and erosion control requirements shall be in place in accordance with the approved erosion control plan or inspections will not be done.
- Clips or spacing is required on orientated strand board roof sheathing.
- Permit cards must be posted on-site.
- Rough-in electrical, plumbing, and mechanical work must be completed, inspected, and approved.
- Approved plan must be available on-site.
- All windows and doors to be in place.
- Exterior fiberboard sheathing must be properly nailed (three (3") inches O.C. at exterior edges and six (6") inches O.C. at intermediate supports).
- Engineered truss drawings and layout must be on-site.
- Wood members used in the structural support of balconies and porches must be approved wood of natural resistance to decay; or, treated wood. These members include posts or columns, beams, joists, and decking.
- Holes bored in studs may not exceed 40% of the stud width.
- Notches in the top or bottom of joists may not exceed 1/6 the depth of the joist.
- Notches in joists may not be located in the middle third of the joist span.
- Holes may not be located within two (2) inches of the top or bottom of the joist, and may not exceed 1/3 the depth of the joist.
- Ends of joists must have 1-1/2 inch of bearing on wood and three (3) inches on masonry.
- Trimmer and header joists must be doubled when the span of the header exceeds four (4) feet.
- Ends of header joists more than six (6) feet long, and tail joists over twelve (12) feet long must be supported by joist hangers.
- Bearing partitions perpendicular to joists may not offset from supporting girders, wall, or partitions more than the joist depth.
- All beam splices shall occur over support with full width bearing.
- Provide solid blocking at bearing points continuous to the foundation.
- Top plates notched or cut, must be sheathed or fastened with a metal tie across each side of the opening.
- Center bearing stud partition walls must be provided with two (2) inch blocking when not covered.
- Plywood sub-floor must be properly nailed (six (6") inches O.C. at edges, and ten (10") inches O.C. at intermediate supports).

- Floor framing shall be blocked to the sill plates in accordance with MSBC, Section R404, items 4 & 5, along with Table 404.1(2). In addition, approved metal angle clips shall be used to fasten floor joists or blocking to the sill plate at intervals not exceeding six (6) feet with eighteen (18) gage fasteners at each anchor bolt location. Clips shall also be used not less than twenty (20) gauge and be fastened at twenty-four (24) inches on center to both the joist rim and sill plate with at least 5-8d common nails in each leg or approved connectors for 230# per linear foot for unbalanced loads on opposite sides, such as daylight basements.
- Cantilevered floor systems with exterior doors must be designed to support 480# per linear foot for deck ledger support.
- Deck ledgers must be designed and permanently installed, flashed and sealed to house rim to support 480# per linear foot prior to framing inspection.
- Where foundation walls are parallel to floor framing, solid blocking shall be installed at sill anchor bolts not greater than six (6) feet on center in the first three (3) joist or truss spaces.
- Cantilevers must be wrapped with #15 felt or equivalent.
- Wind wash at top of exterior wall between trusses up to ventilation chute to attic is required.
- Stairways must be constructed, having not more than a seven and three quarter (7 ¾) inch maximum rise and ten (10) inch minimum run.
- Stairways must have headroom clearance of not less than six (6) feet eight (8) inches.
- Firestopping must be installed at all interconnections between concealed vertical and horizontal spaces; such as soffits, drop ceilings, tops of wall spaces or wall plates and fireplace cavities.
- Engineered, pre-manufactured roof trusses shall not be cut or notched.
- Where required, proper framing hangers must be installed at joists, beams, trusses, and girder trusses.
- Horizontal guards with spindles and open stair risers shall have a distance that will not let a four (4) inch sphere to pass through.
- Attic access opening must be provided not less than 22" x 30", with minimum clear heights of not less than thirty (30) inches.
- Provide attic ventilation equal to 1/150th attic area. If 50% or more is provided in upper portion of roof and remainder is provided in soffit vents, it may be reduced to 1/300th attic area.
- One layer No. 40 coated roofing or self-adhered coated glass base sheet shall be applied from the eaves to a line twenty four (24) inches inside the exterior wall line of house and garage and in valleys with all laps cemented together.
- Protection against wind wash must be in place at the edge of attic insulation and cantilevered floor or bay windows.
- Escape or rescue windows from sleeping rooms must have a minimum net clear opening of not less than 5.7 square feet, a minimum net clear opening height dimension of not less than twenty-four (24) inches; a minimum net clear opening width dimension of not less than twenty (20) inches and a finished sill heights of more than forty-four (44) inches above the floor.
- Exception: Grade floor openings shall have a minimum net clear opening of five (5) square feet.
- Windows having a glazed area in excess of nine (9) square feet where the lowest edge is less than eighteen (18) inches above a walking surface, windows within twenty-four (24) inches of a door jamb, or windows within sixty (60) inches from a stairs nosing or landing or within sixty (60) inches from a tub or shower standing surface must be of "Approved" safety glazing.

INSULATION INSPECTION:

- Approved roof covering materials must be installed.
- Framing work must be completed, inspected, and approved.
- All fire stops are to be sealed on interior and exterior walls.
- Vapor barriers must be a minimum of four (4) mills thick and continuous with joints overlapped.
- Insulation must be installed around all exterior window and door frames.
- Floor insulation must be installed on all exterior projections, such as cantilevers.
- Full width insulation chutes must be installed in each rafter space.

FIREPLACE INSPECTIONS:

- Rough-in and final are the minimum required inspection. Other inspections may be required.
- Separate permit required for gas fireplaces.
- A twenty-five (25) pounds per square inch (PSI) air test for twelve (12) hours is required on rough in gas piping.
- Manufacturer's installation manual must be attached to each factory built fireplace.

REQUIREMENTS FOR WALLBOARD – NO INSPECTIONS REQUIRED:

- Water resistant rock shall not be applied over a vapor barrier.
- 5/8" Type "X" gypsum is required on ceilings with framing twenty-four (24) inch O.C., habitable or usable space above garages and shall run perpendicular to framing members.
- Screws required; one (1) on each seam and three (3) in the field – twelve (12) inch O.C. and six (6) inches O.C. on ends maximum distances.
- Screws shall be long enough to penetrate 7/8" minimum into the wood framing.
- If ring shank nails are used, maximum spacing – seven (7) inch on center.
- Fasteners shall be applied in such a manner as not to fracture the face paper.

FINAL INSPECTIONS:

- Permit cards must be posted on job site.
- Plumbing, mechanical, and electrical work must be completed, inspected, and approved.
- Final grade prior to sodding must be approved by City of Prior Lake Engineering Department. Call (952)-447-9830 to schedule inspection.
- Minimum four (4) inch high house numbers must be installed to be visible from street front.

- Exposed polyethylene vapor barriers must be of an “Approved” fire resistance material, or protected by not less than 1/2 inch thick gypsum wallboard.
- Provide 6” wood earth separation.
- Enclosed space under stairs must be protected on the enclosed side with 1/2 inch thick gypsum wallboard with in entire enclosure.
- Landings must have a dimension measured equal to the width of the stairway and shall not be less than 36 inches measured in the direction of travel.
- The top of handrails must not be less than 34 inches or more than 38 inches measured in a vertical line above the nosing of the treads.
- Handrails must be continuous the full length of the stairs, having ends which are returned to the wall or newel posts.
- Stairways having four (4) or more risers must be installed with handrails.
- Landings more than thirty (30) inches above grade or floor below, must be protected with a guard not less than thirty-six (36) inches in height.
- Smoke detectors shall be hard wired to commercial power supply with battery backup. Smoke detectors shall be located in each sleeping room and in corridors leading to sleeping rooms. Smoke detectors shall be located on every floor and in the basement. In levels separated by walls or doors restricting the flow of smoke from the lower level to the upper level will be considered separate floors.
- Openings for required guards on the sides of stair treads shall not allow a sphere 4 3/8 inches to pass through.
- The separation wall between the house and garage must be installed with materials approved for one-hour fire resistive construction (1/2” Type “X” gypsum wallboard, tight fitting solid wood core or steel 20 minute rated insulated door). If the garage ceiling is sheet rocked, at twenty-four (24) inches O.C. or has habitable or usable space above, 5/8” Type “X” gypsum is required. The walls supporting the roof trusses must be sheet rocked with 1/2” Type “X” drywall minimum. In all cases the fire wall must be fire taped.
- Exterior door, window and other openings exposed to the weather must be flashed and sealed in such a manner as to make them waterproof. House wraps are required under the I.R.C.
- Foundation insulation exposed to the weather must be protected from sunlight and physical damages. Minimum of R10 for the full height of the foundation.
- Attic insulation certification report must be posted with permit cards, or the attic access panel must be removed for inspection.
- In recently platted subdivisions, sod is required in the front and side yards with two (2)-2 1/2” tree plantings on inner lots and with four (4)-2 1/2” trees on corner lots as required per the subdivisions development plan.
- Curb box must be raised to finish grade.
- Hard surface driveway and walks to front entrance shall be installed.
- Gas fireplaces to be operable and performance tag placed by the installer.
- Appliances installed.
- All floor coverings completed.

- Natural gas connected when available in street.
- Accesses for bathtub “P” traps and whirlpool electrical pumps installed.
- Erosion control in place and maintained until sod has been installed.
- Patio doors blocked or guards installed until a future deck is installed. A separate permit is required.
- Construction debris removed from site.
- Exterior landing, concrete and steps as measured from the top of door threshold to the top of landing at 7 ¾ inches maximum.
- A clean furnace filter installed.
- Secure sump cover; sump pump shall be hard piped to the exterior.

NOTE: The City of Prior Lake will issue a temporary Certificate of Occupancy to allow the installation of sod and trees. This construction checklist should only be used as a guide, as each construction site is unique and is site specific. In the event you have questions that are not covered in this hand out, please call the Building Department at 952-447-9850.

Robert D. Hutchins
Building Official
City of Prior Lake

Table No. 29-E

Empirical foundation wall reinforcing requirements of 12 inch thick unit masonry or 8 inch thick concrete for Group R, Division 3 and Group M, Division 1 Occupancies.
(See footnotes 1-10)

Height of Unbalanced Fill	Equivalent Fluid Pressure of Unbalanced Fill (Pounds per cubic foot of drained earth)		
	35 (Sand)	45 (Silt)	65 (Clay)
5 feet	No. 4 bars	No. 4 bars	No. 4 bars
6 feet	No. 4 bars	No. 4 bars	No. 4 bars
7 feet	No. 4 bars	No. 5 bars	No. 5 bars
8 feet	No. 5 bars	No. 6 bars	No. 6 bars

Footnotes

¹ All reinforcing is to be installed vertically every 6 feet on center, except when 8 inch thick concrete walls retain 8 feet of 65 pcf clay fill, reinforcing shall be installed every 4 feet on center. Vertical reinforcing bars shall be placed 3 inches from the inside non-pressure face of masonry walls and 1 1/2 inches from the inside face of concrete walls.

² Reinforced cells of hollow unit masonry shall be filled solid with grout.

³ Hollow masonry units shall be constructed with Type M or S mortar.

⁴ Anchor bolts shall be installed to align with vertical reinforcing in addition to the locations and in the manner specified in Section 2907(f).

⁵ Where foundation walls are parallel to floor framing, solid blocking shall be installed at a spacing not greater than six feet on center in the first three joist or truss spaces.

⁶ Foundation walls shall not exceed a height of 8 1/2 feet, as measured from the basement floor.

⁷ Foundations shall comply with the applicable provisions of chapters 24 and 26.

⁸ Floor framing shall be nailed to the sill plate in accordance with Table No. 25-Q. In addition, approved metal angle clips shall be used to fasten floor joists or blocking to the sill plate at intervals not exceeding 6 feet. These clips shall be not less than 18 gauge and be fastened to both the joist and plate with at least 3-8d common nails in each leg.

⁹ Foundation walls with greater wall or backfill heights and/or soil pressures shall be designed.

¹⁰ Prior to backfilling, foundation walls shall be laterally supported by floor construction at both top and bottom.



RESIDENTIAL SURVEY REQUIREMENTS

Section 1109.500 of the Zoning Ordinance requires the issuance of a building permit prior to the construction, alteration, or expansion of a structure. This handout presents the minimum information required on a survey submitted with a building permit application. All requirements listed intend to be general. Please contact the Planning Department at (952) 447-9810 for information on your specific project.

MINIMUM REQUIREMENTS FOR ALL SURVEYS:

- ✓ Location of all existing and proposed structure(s), including future decks
- ✓ Front, side, and rear yard setbacks
- ✓ Easements of record
- ✓ Street name, location, and width
- ✓ Lot area and dimensions (Note: On lake lots, only land above ordinary high water mark is considered part of lot area.)
- ✓ Existing catch basins, manholes, etc.
- ✓ Legal description
- ✓ Signature of licensed surveyor
- ✓ Original survey date and revision dates
- ✓ Scale
- ✓ North arrow

ADDITIONAL REQUIREMENTS FOR NEW RESIDENTIAL STRUCTURES:

- ✓ Elevations:
 - At property corners
 - Existing grade at all proposed grade locations
 - Proposed at structure corners
 - Lowest floor elevation
 - Garage floor elevation
 - Top of block elevation
 - Top of curb at center of driveway
 - Grade at offset hubs or side property lines
- ✓ Arrows indicating direction of surface water run-off
- ✓ All wetlands and wetland setbacks
- ✓ Significant trees 6 caliper inches or larger; include existing location, size, type, and removal plan
- ✓ Erosion control and rock construction entrance
- ✓ Dimensions of eaves, cantilevers, fireplace, etc.
- ✓ Well and septic location, if applicable (Note: Permits for well and septic must be obtained from Scott County Environmental Health at (952) 496-8177.)

ADDITIONAL REQUIREMENTS FOR CONSTRUCTION IN THE SHORELAND DISTRICT

- ✓ Ordinary high water mark and proposed setback(s) (see Planning Department for specific ordinary high water level)
- ✓ Total impervious surface (Note: On residential lots, impervious surface is limited to 30 percent. See impervious surface worksheet.)
- ✓ If averaging shoreland setback, note setbacks of structures within 150 feet
- ✓ Bluff areas: (Note: See the Planning Department for a determination on your project.)
 - A bluff is defined where:
 - 1) the slope rises at least 25 feet above the ordinary high water level of the water body;
 - 2) the grade of the bluff to a point 25 feet or more above the ordinary high water level averages 30 percent or more; and
 - 3) the slope drains toward the lake.
 - All structures are required to be set back to the point where the upper end of a segment at least 25 feet in length has an average slope less than 18 percent
 - Provide location and elevation of top and toe of bluff
- ✓ Proposed and existing one (1) foot contours for all lots without an approved subdivision grading plan

ADDITIONAL REQUIREMENT FOR CONSTRUCTION IN THE FLOODPLAIN DISTRICT

- ✓ Elevations 15 feet beyond the limits of any structure

EROSION CONTROL MEASURES FOR BUILDING CONTRACTORS

Whenever grading or excavating for the purpose of constructing a building occurs, the City of Prior Lake's erosion control standards must be applied. The standards will reduce the erosion of soils into the City's storm sewers, waterways, and roads. This handout provides you with the information you need to comply with these standards.

An erosion control plan will be created for the site as part of the permit review process. Failure to comply with the approved plan during construction will result in the loss of the \$1,500.00 deposit, plus the builder will pay for the cost of the correction work.

Build a rock construction entrance and erect silt fence.

The silt fence will be in place prior to the footing inspection. The rock construction entrance will be constructed concurrently with the backfilling of the footings. Silt fence will be required, as needed, to intercept water flowing off the lot. Silt fence perpendicular to and across rear or side drainage swales shall be 20' long, centered on the swale, and spaced no more than 100' apart. Silt fence will be required behind all curb at a distance of five feet behind the curb, except at the rock construction entrance, and will extend 10' beyond the property line. The 10' extension may be waived when the adjacent lot is sodded and installation of silt fence would damage the sod. For Spring construction, silt fence will be constructed as soon as the frost is out of the ground. Posts will be spaced at four feet or less and driven at least 2 feet into the ground. Posts will be two inch square or heaviewood posts, or standard T or U section steel posts. The rock construction entrance shall be 20' wide and 6" deep and be constructed of 1' - 2' clear rock from the back of the curb to the front of the house.

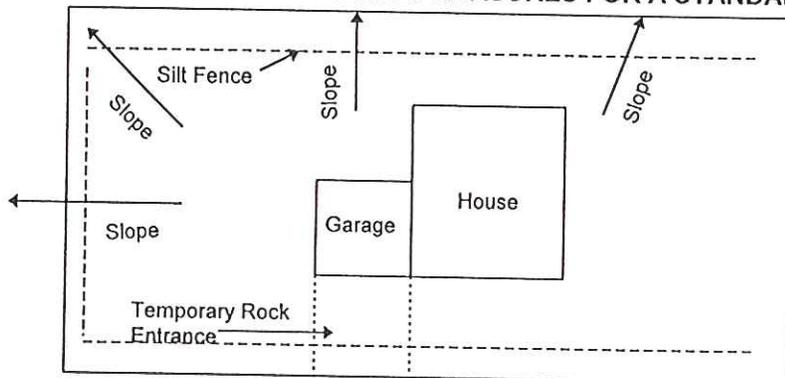
It will be the responsibility of the general contractor to:

1. Maintain the entrance and silt fence in working condition.
2. Ensure that all sub-contractors and suppliers use the rock construction entrance only.
3. Keep the silt fence and the rock construction entrance in operation until final grading and sodding have been completed and the driveway paved.

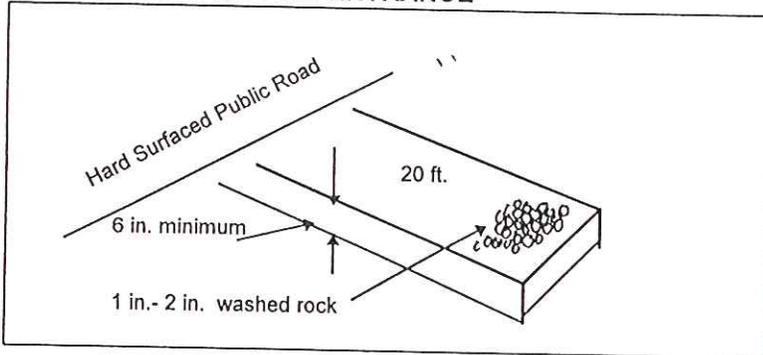
Penalty for failing to comply with the Erosion Control Standards.

If a deficiency is noted in erosion control on site, you will be given 24 hours to correct the deficiency. It is important that you inform the City as soon as correction is made as the City will consider the work undone until so informed. Failure to correct the deficiency within this time will result in forfeiture of the Builder's Deposit and the City will direct a third party to correct the work. In addition to the forfeiture, you will be billed for the cost of corrective action. Inspections will not resume until a new Builder's Deposit has been submitted.

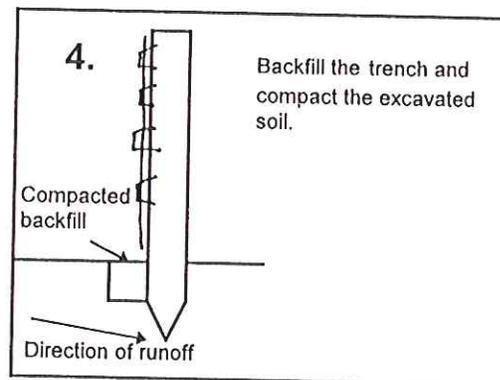
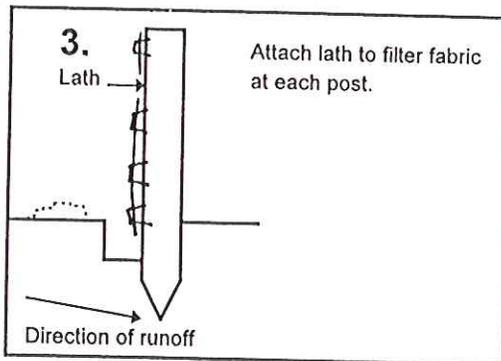
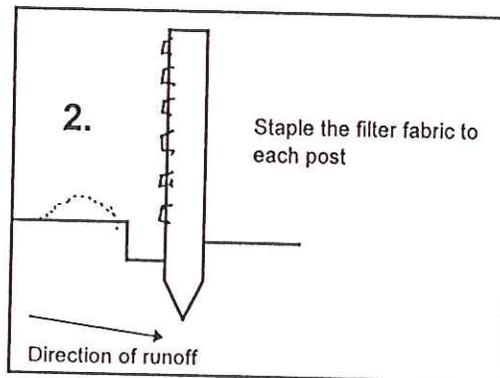
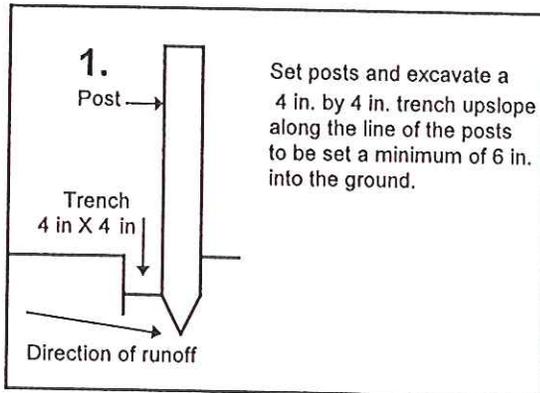
TYPICAL EROSION CONTROL MEASURES FOR A STANDARD HOUSE LOT



ROCK CONSTRUCTION ENTRANCE



SILTATION FENCE FOR EROSION CONTROL





Builders Deposit

City of Prior Lake

A \$1,500.00 Builders Deposit is included in the Building Permit fee. The Builders Deposit is issued as security to insure compliance for a Final Occupancy Permit. (It is not an escrow account.) All exterior items including but not limited to grading, sodding, landscaping, tree planting, driveways, siding and painting shall be completed 180 days after the date the building permit is issued. If the work is not complete within the 180 day time period, the City shall notify the applicant of the violation and the applicant shall have 10 days to comply or the \$1,500.00 builders deposit will be forfeited and the applicant will be billed for clean up or corrective work to rectify the situation. A \$500.00 Tree Deposit may also be required and will be refunded if specified trees are preserved for a period of one year.

DATE: _____

SITE ADDRESS: _____ PERMIT # _____

REFUND TO BE MAILED TO: _____

PLEASE REMEMBER

1. KEEP STREETS CLEAN DURING CONSTRUCTION
2. KEEP EROSION CONTROL IN PLACE
3. TEMPORARY OCCUPANCY PERMIT MUST NOT EXPIRE OR \$500.00 WILL BE FORFEITED

SIGNATURE: _____

ACCOUNT NO. 801-20204
RETAINAGE FORFEITURE ACCOUNT NO. 32211 AMOUNT: _____

AUTHORIZE TO RELEASE: _____ DATE: _____

BUILDING PERMIT # _____
P.I.D.# _____

CITY OF PRIOR LAKE SINGLE FAMILY WORKSHEET

NAME OF GENERAL CONTRACTOR: _____

ADDRESS OF PROPOSED PROJECT: _____

SQUARE FOOT FLOOR AREA

FIRST FLOOR (INCLUDE 4-SEASON PORCH AREA) _____
SECOND FLOOR _____
BASEMENT FINISHED _____
BASEMENT UNFINISHED _____
GARAGE _____
DECK _____
3-SEASON PORCH _____
SCREEN PORCH _____
NUMBER OF FULL BATHROOMS _____
NUMBER OF HALF BATHROOMS _____

SEWER AND WATER CONTRACTOR: _____
NAME PHONE #

NUMBER OF GAS FIREPLACES: _____
INSTALLER: _____
NAME PHONE #

NUMBER OF WOOD BURNING FIREPLACES: _____
INSTALLER: _____
NAME PHONE #

MECHANICAL CONTRACTOR: _____
NAME PHONE#

FURNACE: CHECK ONE: YES NO
AIR CONDITIONER: CHECK ONE: YES NO
AIR TO AIR EXCHANGER: CHECK ONE: YES NO

PLUMBING CONTRACTOR: _____
NAME PHONE #

WATER METER SIZE: CHECK ONE: 5/8" (STANDARD)
 1"
 1 1/2"
 2"

ATTENTION APPLICANT: YOUR BUILDING PERMIT APPLICATION WILL NOT BE ACCEPTED UNTIL ALL REQUIRED INFORMATION IS COMPLETE.

MECHANICAL WORKSHEET

JOB ADDRESS: _____

CONTRACTOR: _____

Complete this form. Your application will not be processed without all the required information.

CODE TYPE: (CHECK ONE) CATEGORY 1 2000 ENERGY CODE

FURNACE TYPE: (CHECK ONE)

SEALED COMBUSTION POWER VENT DIRECT VENT NATURAL DRAFT

WATER HEATER: (CHECK ONE)

SEALED POWER VENT NATURAL DRAFT ELECTRIC OTHER

FIREPLACE: (LIST FUEL TYPE & VENTING) _____

MECHANICAL VENTILATION AIR: DESCRIBE HOW VENTILATION WILL BE ACHIEVED. _____

LIST ALL EXHAUSTING APPLIANCES: INCLUDE CFM (BATH FAN, RANGE HOOD, DRYER, CENTRAL VACUUM, ETC.)

MAKEUP AIR: DESCRIBE HOW MAKEUP AIR WILL BE ACHIEVED.

SIGNATURE: _____ DATE: _____