



# **SHEDS, GARAGES, WATER-ORIENTED STRUCTURES, & OTHER ACCESSORY STRUCTURES**

## *City of Prior Lake Requirements*

The following are requirements for Accessory Structures (City Code 1102.700 (8)) :

- Accessory structure must have a principal use.
- Detached accessory structures shall be located to the side or rear of the principal building, and are not permitted within the front yard or within a side yard abutting a street except on riparian lots.
- No detached accessory building erected to the side or rear of a principal building on a corner lot shall be located within 25 feet of any property line abutting a street.
- On riparian lots in the Shoreland District, one (1) detached accessory building designed and used as a garage may be located between the front building wall and the street.
- All detached garages and other accessory structures shall be compatible in design and materials with the principal structure on the parcel. (City Code 1107.2200).
- Water oriented accessory structures cannot exceed 120 square feet. One (1) water-oriented accessory structure may be allowed per lot on General Development lakes that have Municipal sewer & water; provided a building permit is obtained from the City and the following criteria are met:
  - If a lot has a slope of less than 20%, the structure setback is 50' from the Ordinary High Water Mark (OHWM).
  - If the slope is 20% or more, the setback is 10' from the OHWM. (City Code 1104.308 (4)).

- The total ground floor area of all accessory buildings shall not exceed 30% of the area between the principal structure and rear lot line and in the R-1, R-2 use Districts, it shall not exceed 1000 sq. ft.
- The height of an accessory building shall not exceed 15 feet measured at grade, 6" below the bottom of the siding, to the mean point of structure.
- No accessory building shall be located within 5 feet of any lot line abutting lots in an "R" use District.
- Accessory buildings located less than 6 feet from a principal building on the same lot shall be considered part of the principal building for the purpose of applying provisions of this Ordinance including, but not limited to, setbacks and other dimensional requirements.
- Any structure with a door larger than 6 feet in width must have a hard surface driveway that leads to a street.
- For accessory buildings to be located on Islands, refer to Section 1104.309 of the City Code.
- Structures are not permitted within easements.
- **A Building Permit is required for all accessory structures over 200 square feet.** There is a fee for this Building Permit based on structure size.
- A separate permit is required for electrical work. Request an Electrical Permit from the State of Minnesota ([www.doli.state.mn.us/CCLD/Electrical.asp](http://www.doli.state.mn.us/CCLD/Electrical.asp)) or contact Electrical Inspector Terry Krominga at (507) 665-3205.
- As part of the Building Permit, a survey is required. An existing signed and dated survey can be used for proposed sheds less than 480 square feet of floor area on lots outside the Shoreland District and Flood Overlay District (1109.600). For lots within the Shoreland District or Flood Overlay District, a current survey is required with impervious surface calculations.
- Roof live load must be 30 pounds per square foot.
- Floor live load must be 40 pounds per square foot.
- Detailed plans are required.

- The City does not enforce deed restrictions or covenants on property. Please check recorded documents for any restrictions or regulations concerning accessory structures in your development.
- Please call the Building Department at 952 447 9850 with any questions or if you need additional information.

***See Corner Lot, Typical Lot and Riparian Lot drawings included on subsequent pages. (Drawings intended as guide only)***

**Before digging, call Gopher State One Call 800 252 1166 or 651 454 0002.**

- REQUIRED INFORMATION WHEN APPLYING FOR A BUILDING PERMIT:
  - Submit a copy of a Certificate of Survey showing the location and area of the existing structures and proposed structures. Indicate the setbacks from the property lines. Also show location of any existing structures (s). (See Survey Handout)
  - Submit two (2) copies of drawings showing proposed designs and materials. Drawings shall be drawn to scale and shall include the following information:
    - FLOOR PLAN-Indicating proposed size, window and openings, size, spacing direction of rafter material and header or beam schedule.
    - CROSS SECTION-Indicating footage and floor design, wall and roof construction.
    - ELEVATIONS-Front and side view, indicating heights of structure.
  - If truss roof system is to be used, submit a copy of the stamped pre-engineered truss designs from the manufacturer at the framing inspection.
  - Completed permit application.



- BUILDING CODE REQUIREMENTS

- FOUNDATION - (See attached slab designs) A “floating slab” up to a maximum of 1,000 square feet in area, may be poured provided the soil has a bearing capacity of at least 1,500 pounds per square foot. Remove all sod and root structures and other fibrous materials and cover with 4” sand fill. At the perimeter from the haunch to thickened edge having a minimum vertical dimension at the exterior face of twelve (12) inches with at least six (6) inches projecting above the finished grade. The bottom of the haunch shall be at least eight (8) inches wide and then sloped upward to the bottom of the slab. Screed block shall be placed to provide for a minimum slab thickness of four (4) inches. The minimum concrete strength shall be at least 3,000 pounds per square inch (28 day strength). In cold weather, protect concrete from freezing when green.

When a slab is over two-hundred (200) square feet in area, provide with a minimum of reinforcement of 6 x 6, #10 gauge wire mesh. Overlap six (6) inch splices and bend down into the edge of the slab at least six (6) inches. When slab is over four-hundred (400) square feet in area, provide with 2 - #4 re-rods around the perimeter of the slab. NOTE: Four (4) inch block is not permitted unless they are core filled.

- SILL BOLTS – While concrete is still plastic, bent ½” diameter x 7” foundation bolt shall be embedded into the concrete at least 6’ 0” O.C. and 1’ 0” from each corner.
- SILL PLATES – The bottom plate shall be a minimum of 2 x 4. When setting directly on the concrete, it shall be Penta treated, redwood, or other rot-resistant wood.
- WOOD FRAMING – Wood studs shall be at least 2 x 4’s with three (3) studs provided at corners.
- TOP PLATES – The top plate shall be overlapped double 2 x 4’s.
- WALL SHEATHING AND SIDING – Fasten approved wall sheathing according to manufacturer specifications. Sheathing shall be approved for 16” or 24” O.C. stud spacing.



- HEADERS – For sixteen (16) foot, zero (0) inch door in gable (non-bearing) end, header shall be minimum (2) 2 x 12's with plywood in between. When door is to be located in bearing wall, header shall be a minimum (3) 11- 7/8 LVL or (2) 14" LVL or equivalent.

If trusses are to be used, they shall be stamped and approved by a third party agency. Submit copy of truss plans signed by a registered engineer at the framing inspection.

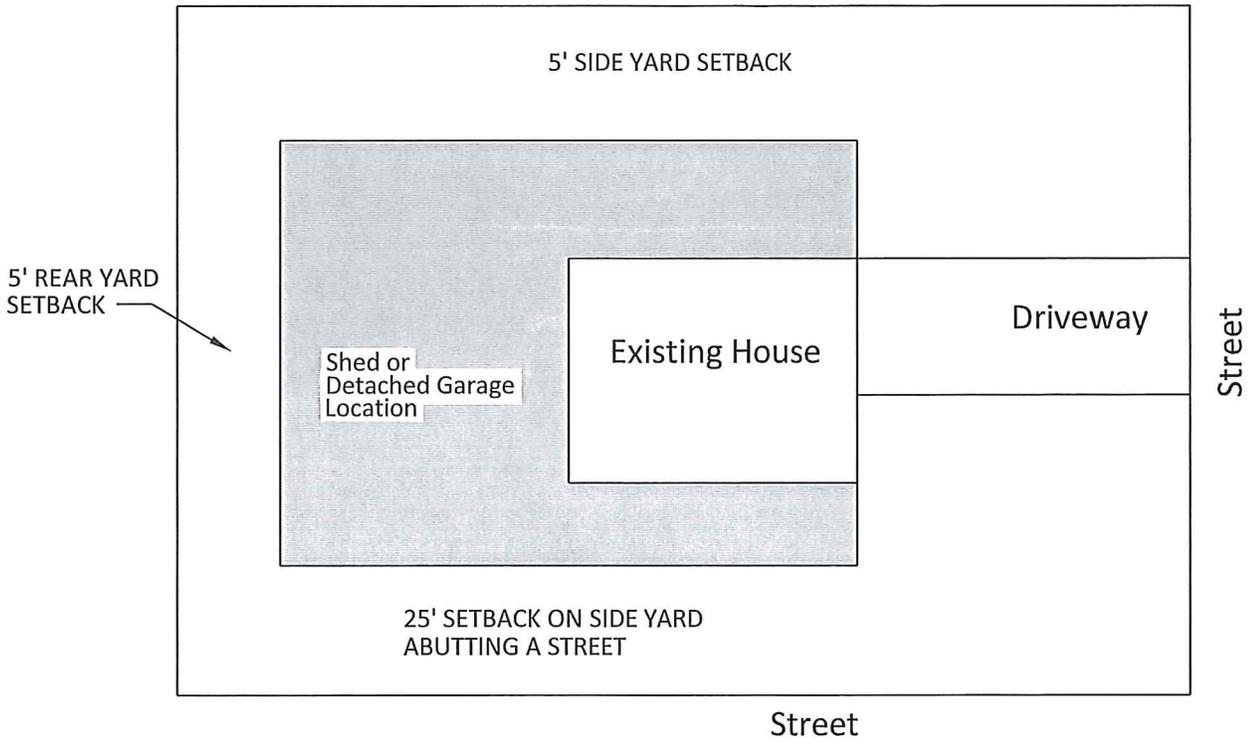
- ROOF COVERING – Nail approved roof sheathing according to manufacturer specifications (sheathing shall be approved for a sixteen (16) or twenty-four (24) inch O.C. rafter or truss spacing). Shingles shall be a minimum 210# asphalt or equivalent applied over fifteen (15) pound felt paper according to manufacturer specifications.
- FIREWALL – Garages within 10' 0" of a dwelling shall be protected with materials approved for one (1) hour fire resistive construction. Doors shall be approved self-closing solid wood at least 1 3/8" in thickness or a steel insulated door. NOTE: When locating garage 6' 0" or less from dwelling, 42" frost footings shall also be required.
- ELECTRICAL – Electrical inspections will be required. For information on electrical permits and/or inspections, contact Walt Lusian, State Electrical Inspector, between 7:00AM – 8:30AM, Monday through Thursday at 952 934 0229.
- HEATED GARAGES – Garages that are to be heated will be required to have insulated foundations, walls and ceilings. Attic ventilations will also be required.

***See Garage drawings included on subsequent pages (drawings intended as guide only)***

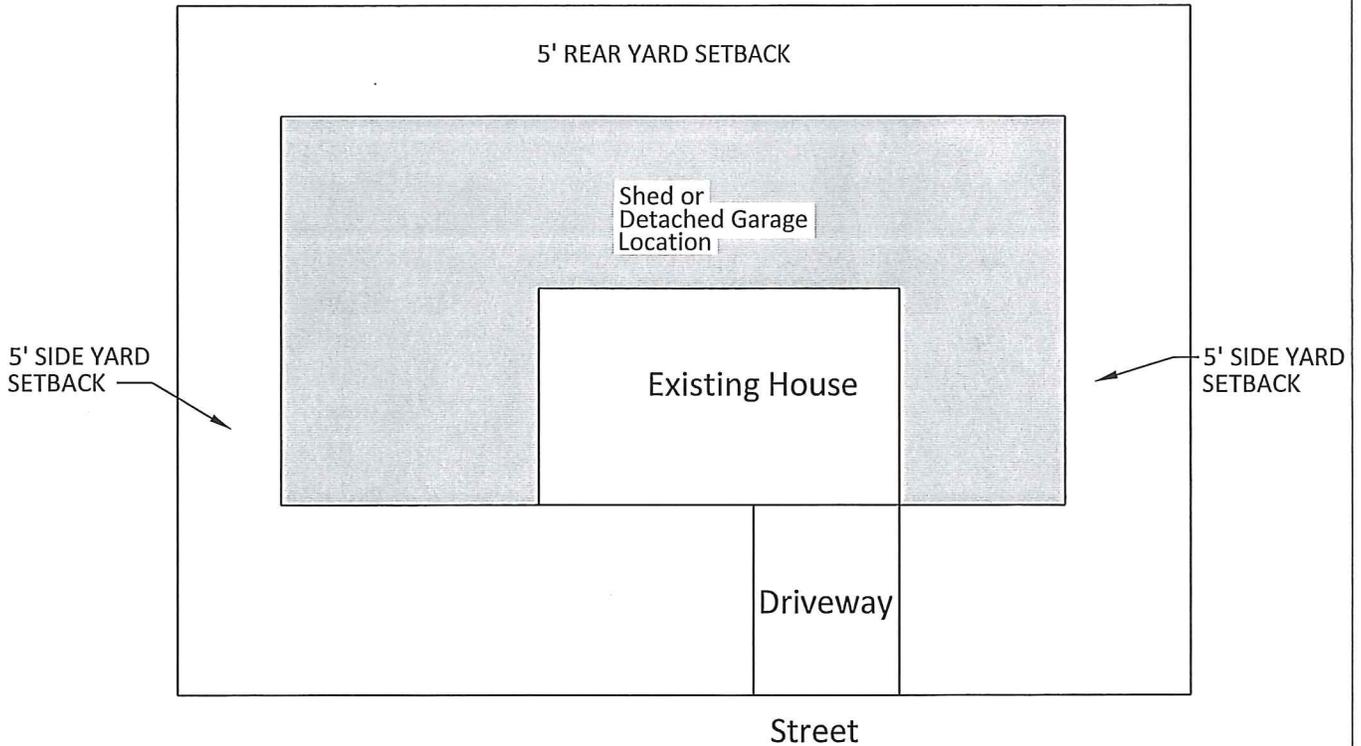
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# Corner Lot

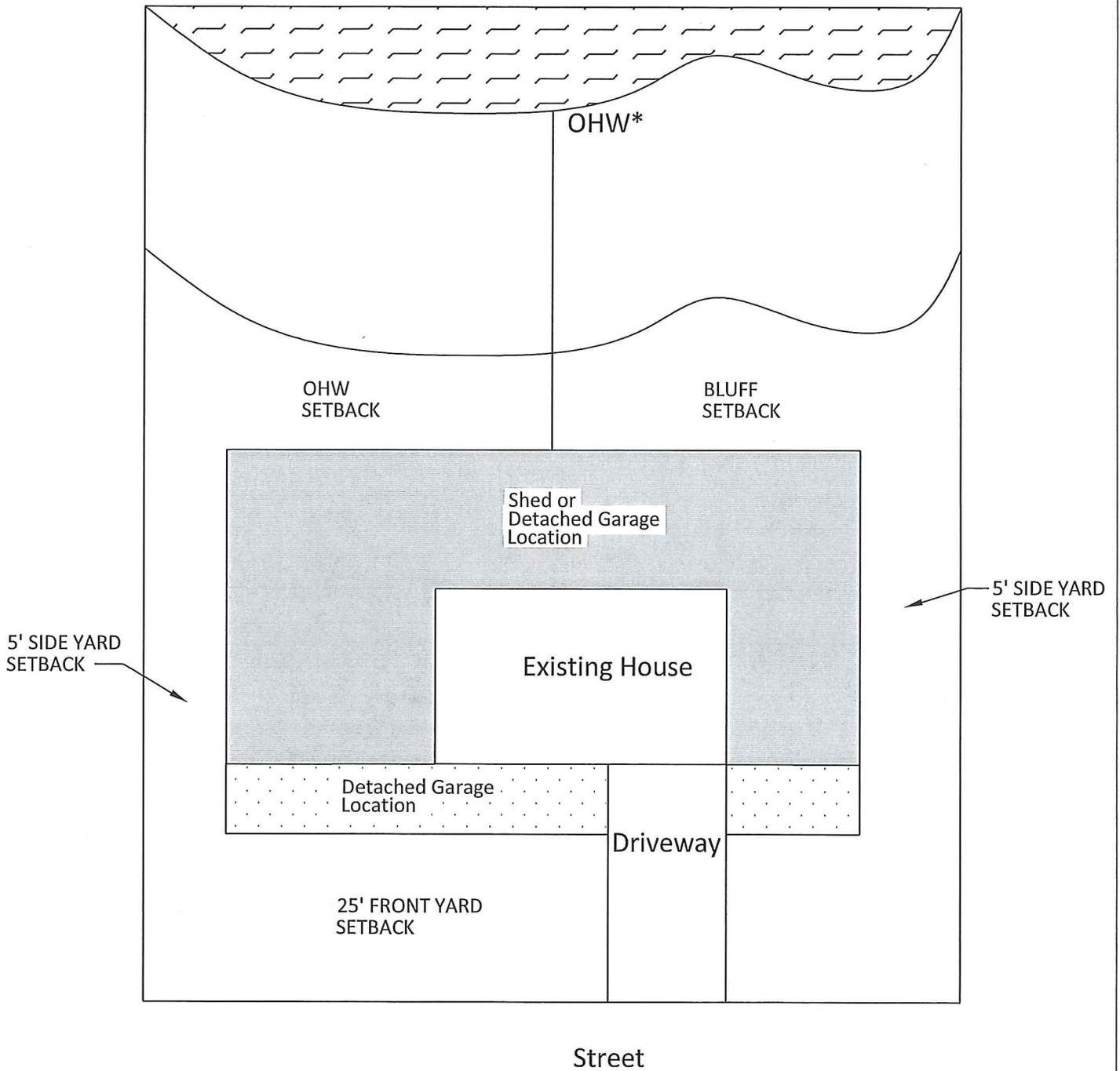


# Typical Lot





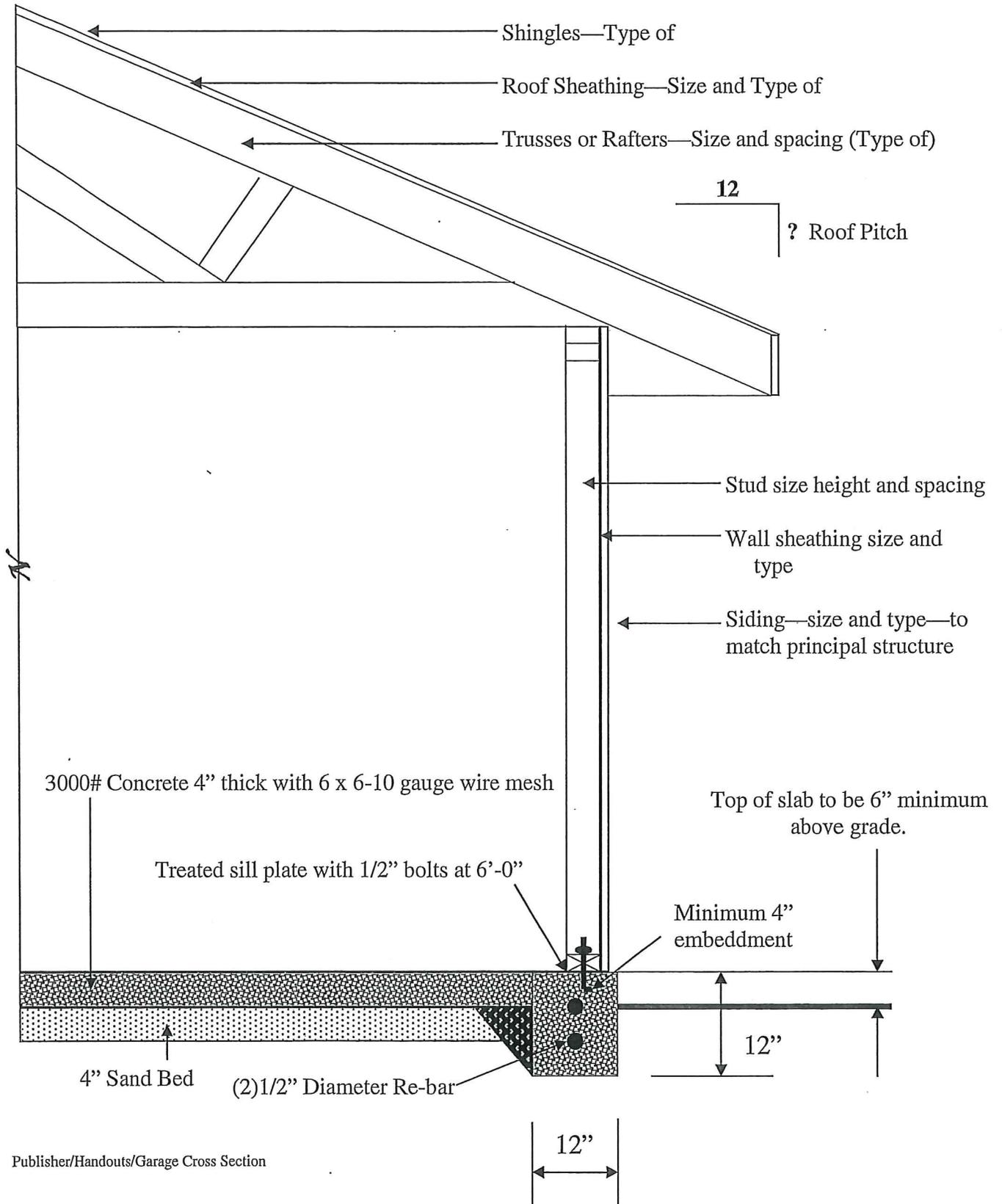
# LAKESHORE LOT



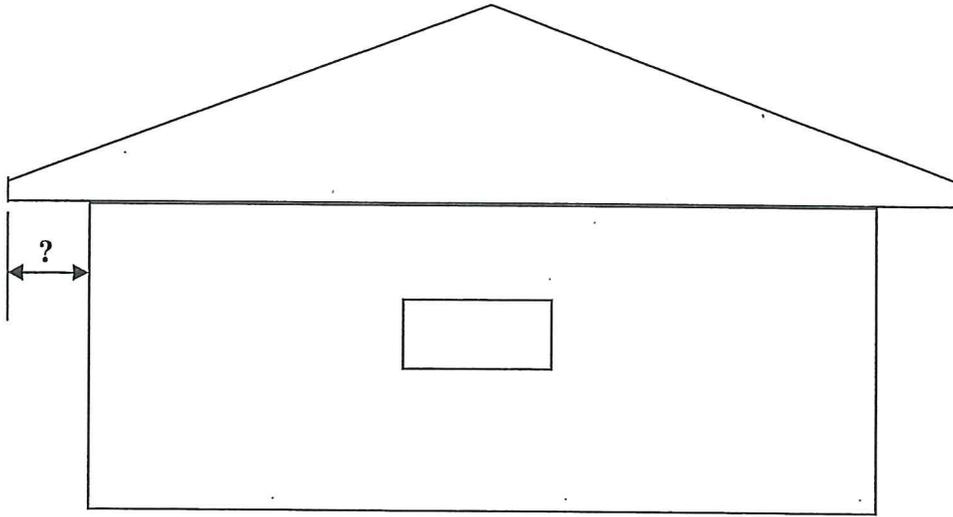
\*ORDINARY HIGH WATER MARK = OHW



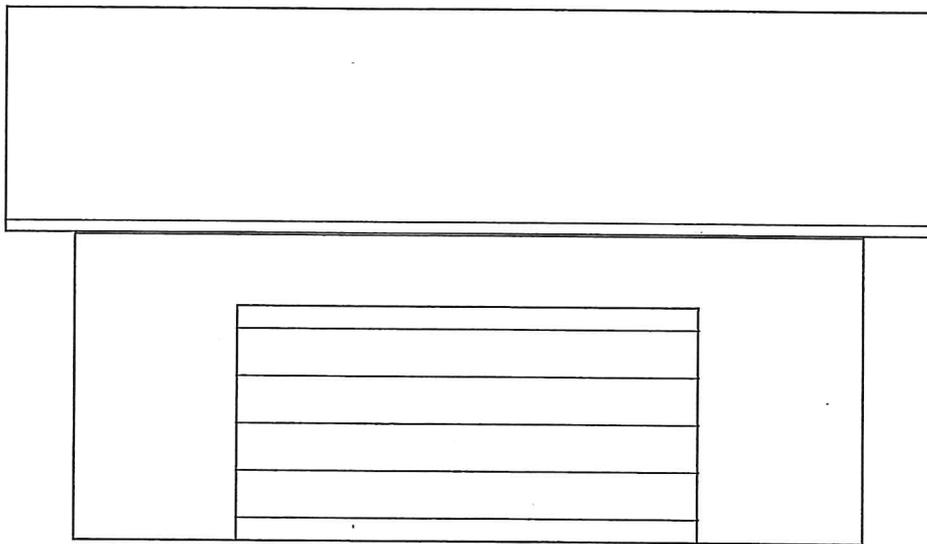
# CROSS SECTION OF DETACHED GARAGE





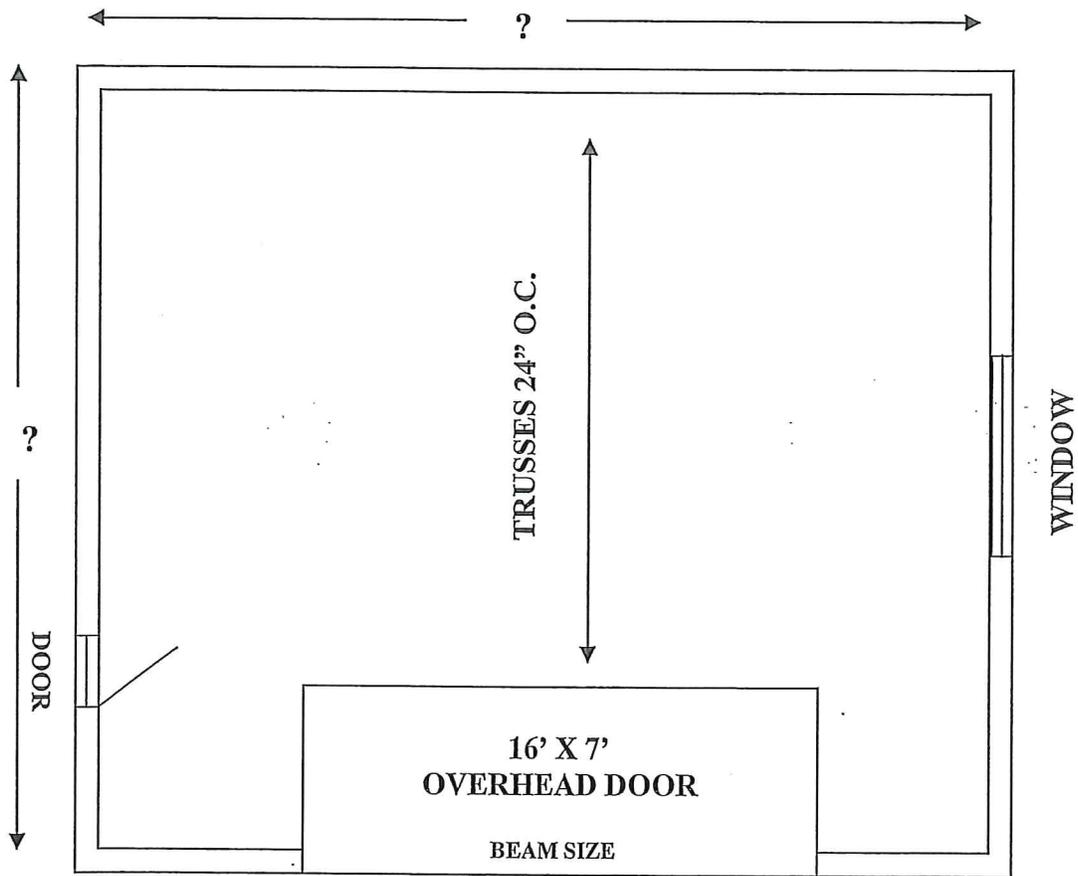


**SIDE ELEVATION**



**FRONT ELEVATION**





DOORS OVER 6'-0" WIDE REQUIRE  
 HARD SURFACE DRIVEWAYS TO  
 STREET OR EXISTING DRIVEWAY

## FLOOR PLAN

